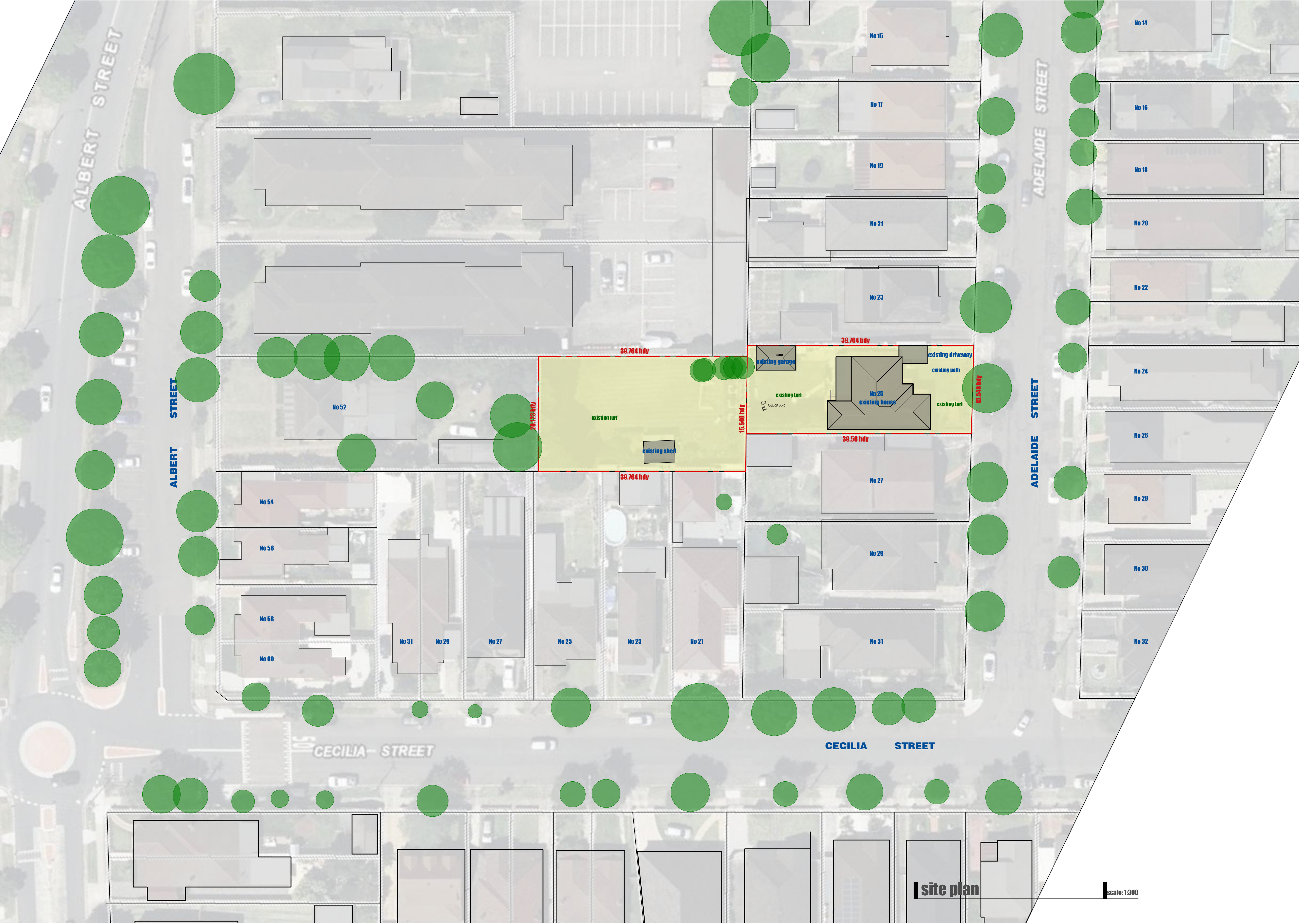
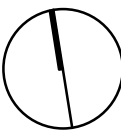




amendments	date	description
a	27/11/2024	planner issue - preliminary
b	10/12/2024	Development Application



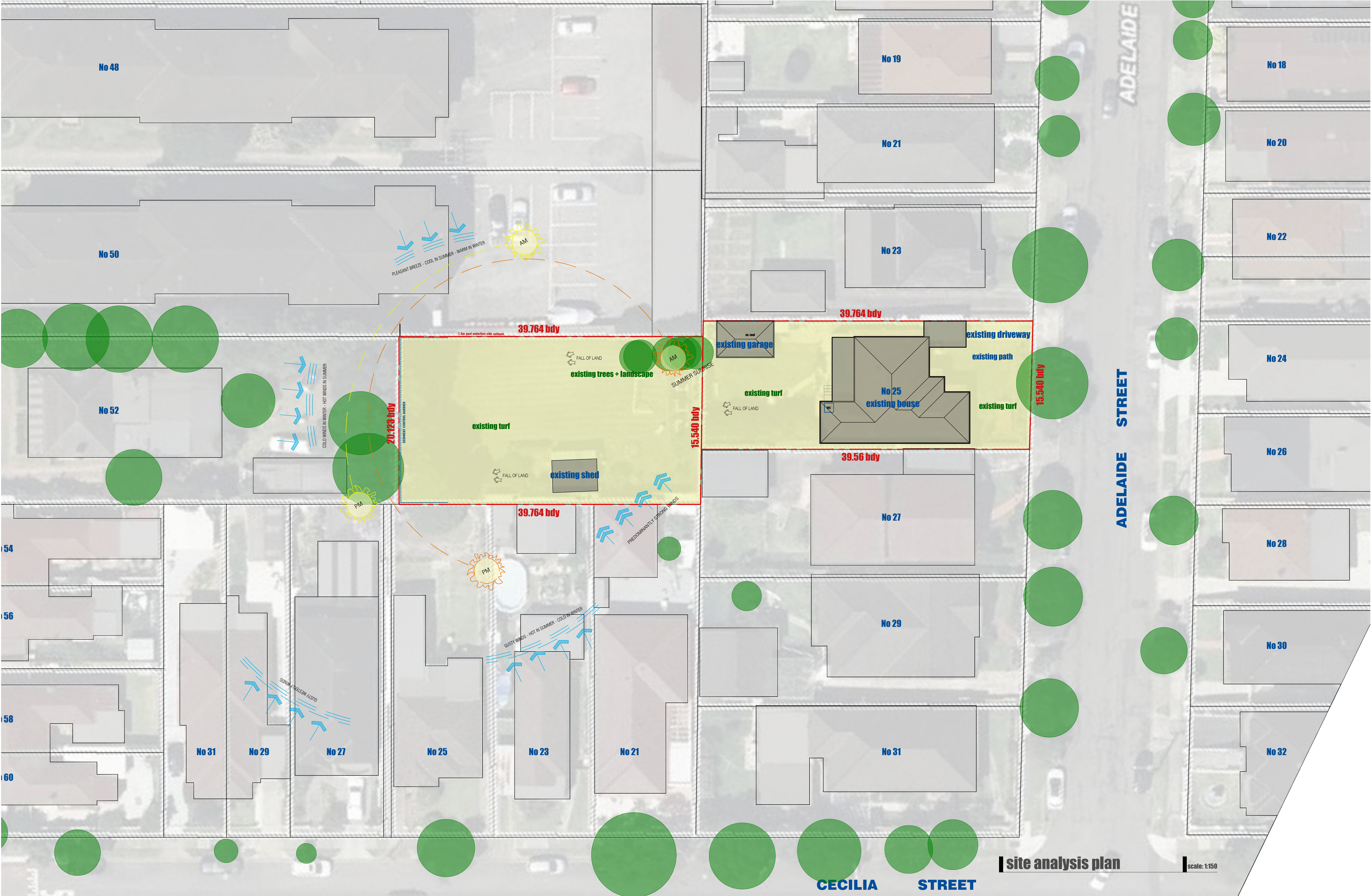
drawing is copyright, do not scale drawing, work to figured dimensions only, verify all dimensions on site, Report any omission, discrepancy or anything that might lead to a result other than the intent of the drawing. If in doubt, ask. All work to comply with the BCA and relevant Australian Standards.

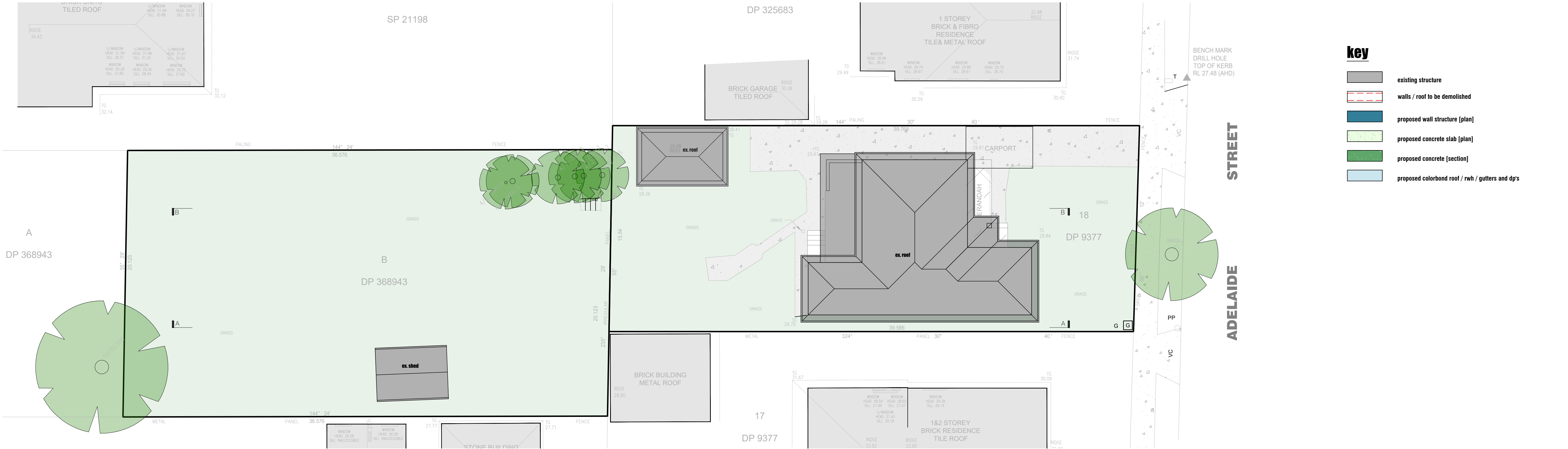


job # : 2410
scale : 1:300 @ A1
date : Sept 2024

drawing title : **site plan**
25 Adelaide Street, Belmore

drawing number : :	issue : :
DA 01	B





existing roof plan scale: 1:150

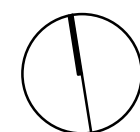


existing ground floor plan scale: 1:150

amendments	date	description
a	08/09/2024	client issue - preliminary
b	27/11/2024	planner issue - preliminary
c	10/12/2024	Development Application



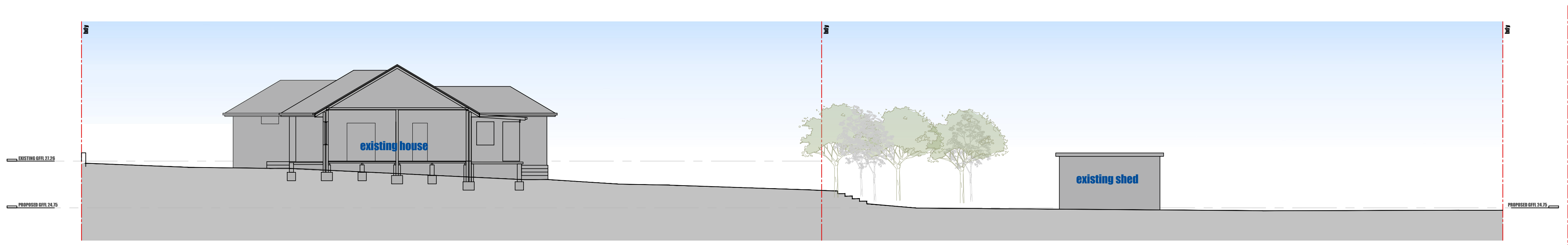
drawing is copyright, do not scale drawing, work to figured dimensions only, verify all dimensions on site, Report any omission, discrepancy or anything that might lead to a result other than the intent of the drawing. If in doubt, ask. All work to comply with the BCA and relevant Australian Standards.



job # : 2410
scale : 1:100 @ A1
date : Sept 2024

drawing title : existing plans
25 Adelaide Street, Belmore

drawing number :	issue :
DA 03	C

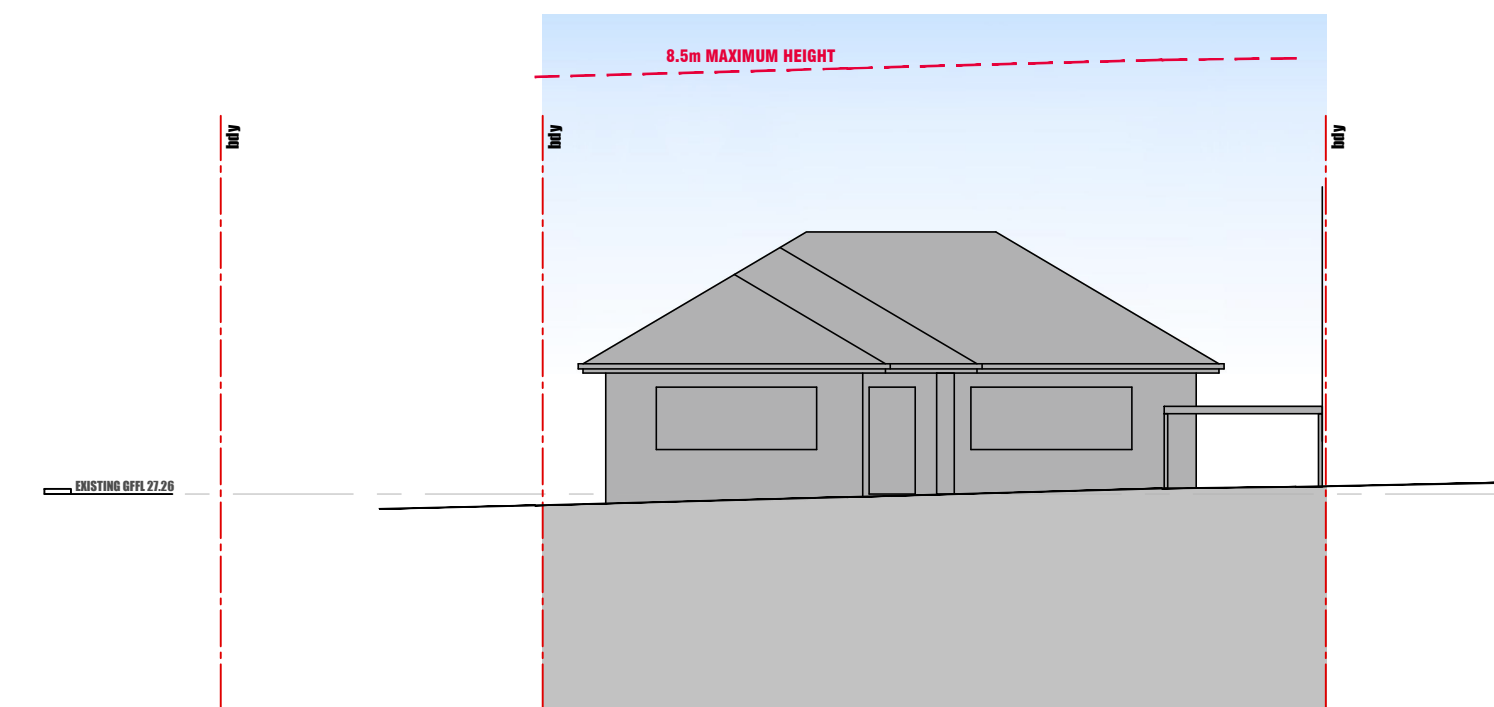


existing section A-A

scale: 1:150

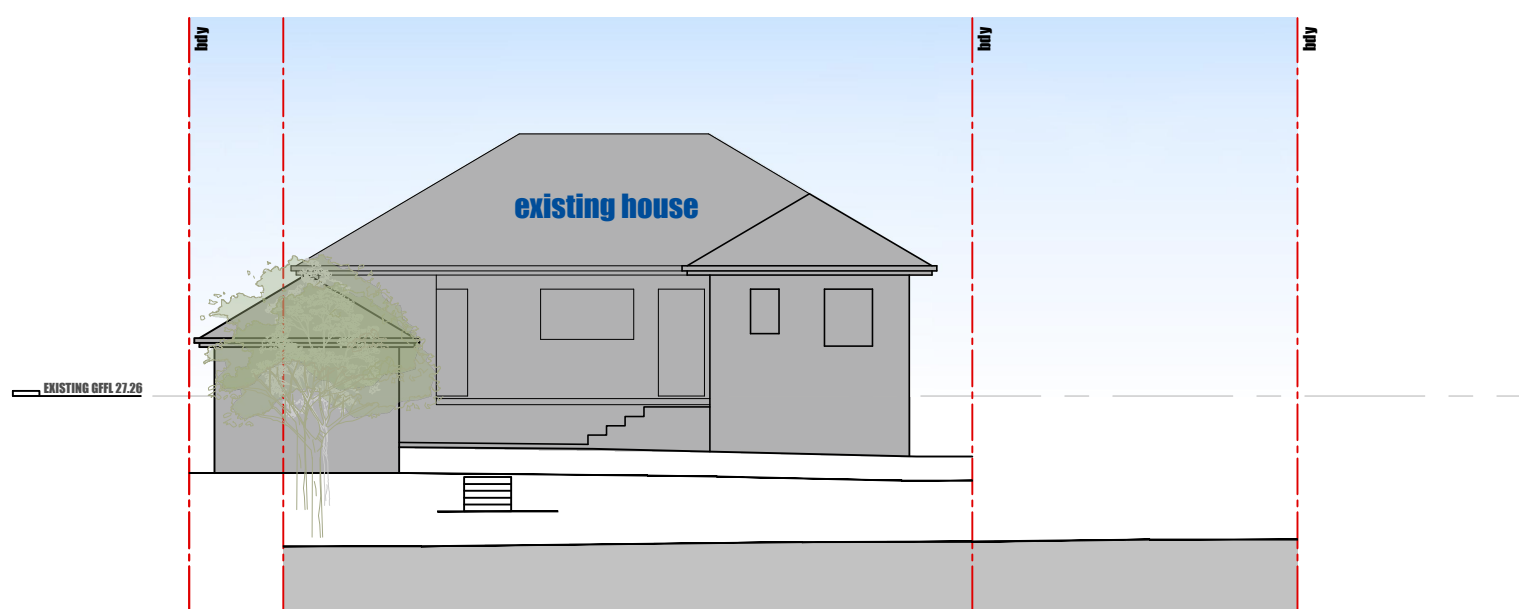
key

- existing structure
- walls / roof to be demolished
- proposed wall structure [plan]
- proposed concrete slab [plan]
- proposed concrete [section]
- proposed colorbond roof / rwh / gutters and dp's



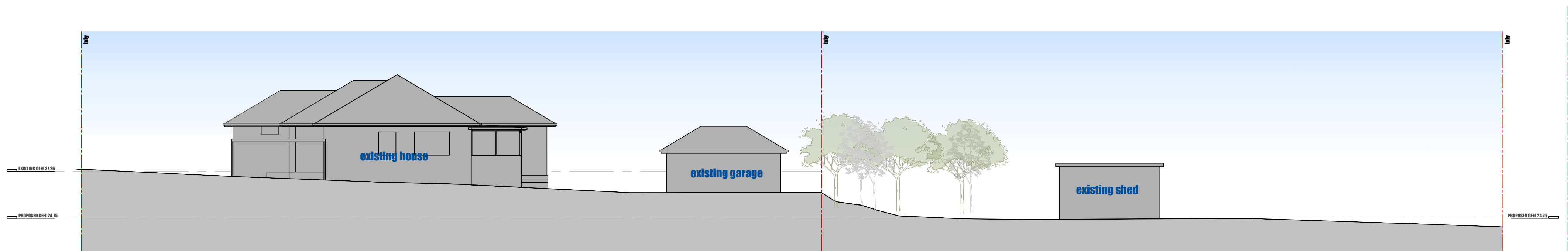
existing south elevation

scale: 1:150



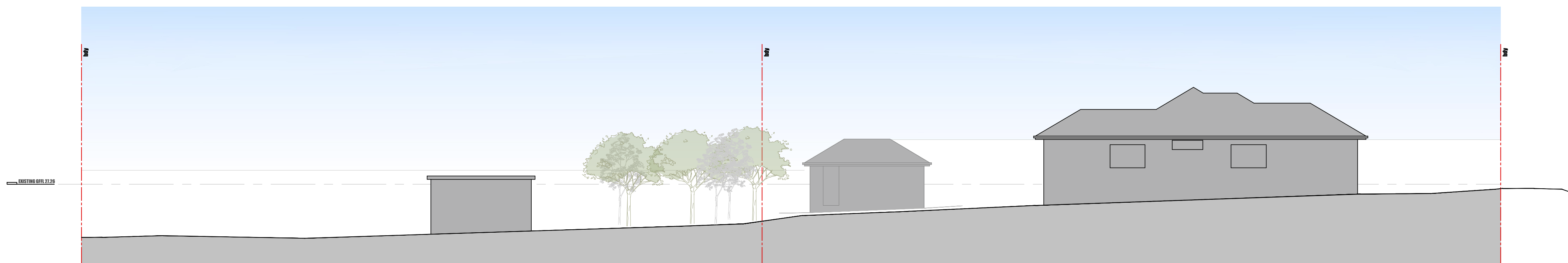
existing north elevation

scale: 1:150



existing east elevation

scale: 1:150



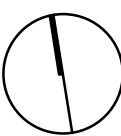
existing west elevation

scale: 1:150

amendments	date	description
a	08/09/2024	client issue - preliminary
b	27/11/2024	planner issue - preliminary
c	10/12/2024	Development Application



drawing is copyright, do not scale drawing, work to figured dimensions only, verify all dimensions on site, Report any omission, discrepancy or anything that might lead to a result other than the intent of the drawing. If in doubt, ask. All work to comply with the BCA and relevant Australian Standards.



job #
scale
date

::
::
::

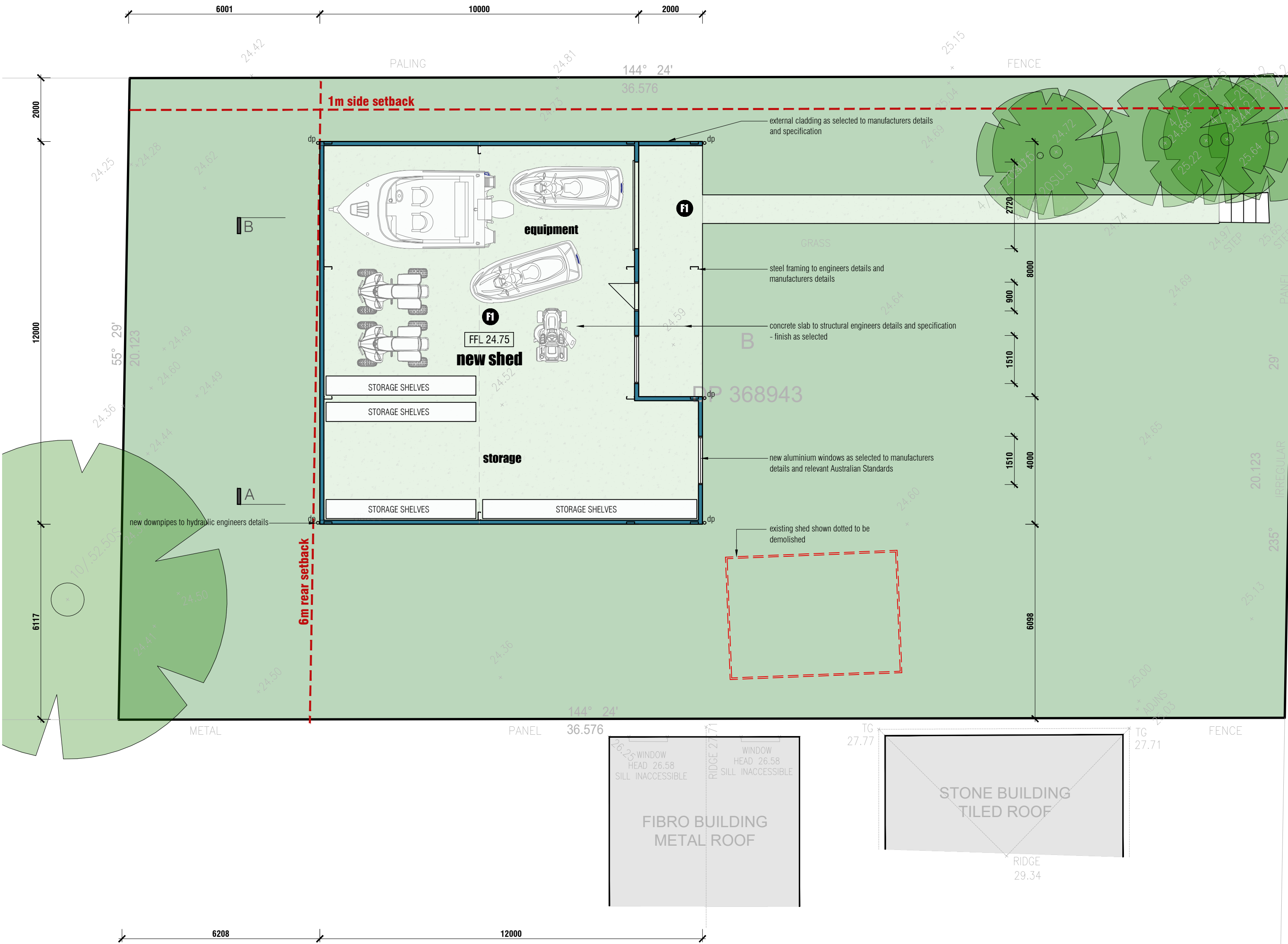
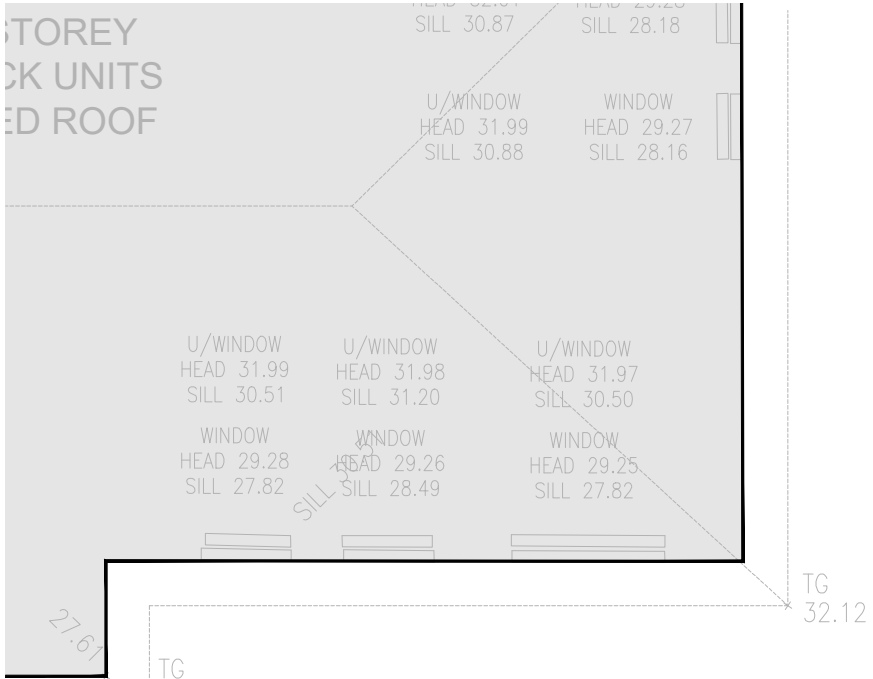
2410
1:100 @ A1
Sept 2024

drawing title :: existing elevations + section
25 Adelaide Street, Belmore

drawing number :: issue ::

DA 04

C



proposed ground floor plan scale: 1:100



W1 EXTERIOR CLADDING FINISH AS SELECTED



W2 EXPOSED CONCRETE EDGE FINISH AS SELECTED

W3 EXTERIOR CLADDING ALTERNATE FINISH AS SELECTED



F1 CONCRETE FLOOR COLOUR AS SELECTED



DW1 GLAZED WINDOWS / DOOR ALUMINIUM FRAME IN CHARCOAL BLACK

G1 CLEAR GLAZING TO AS



R1 METAL STANDING SEAM ROOFING OR SIMILAR MEDIUM COLOUR FINISH AS SELECTED

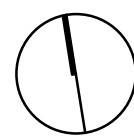
key

- existing structure
- walls / roof to be demolished
- proposed wall structure [plan]
- proposed concrete slab [plan]
- proposed concrete [section]
- proposed colorbond roof / rwh / gutters and dp's

amendments	date	description
a	08/09/2024	client issue - preliminary
b	27/11/2024	planner issue - preliminary
c	10/12/2024	Development Application



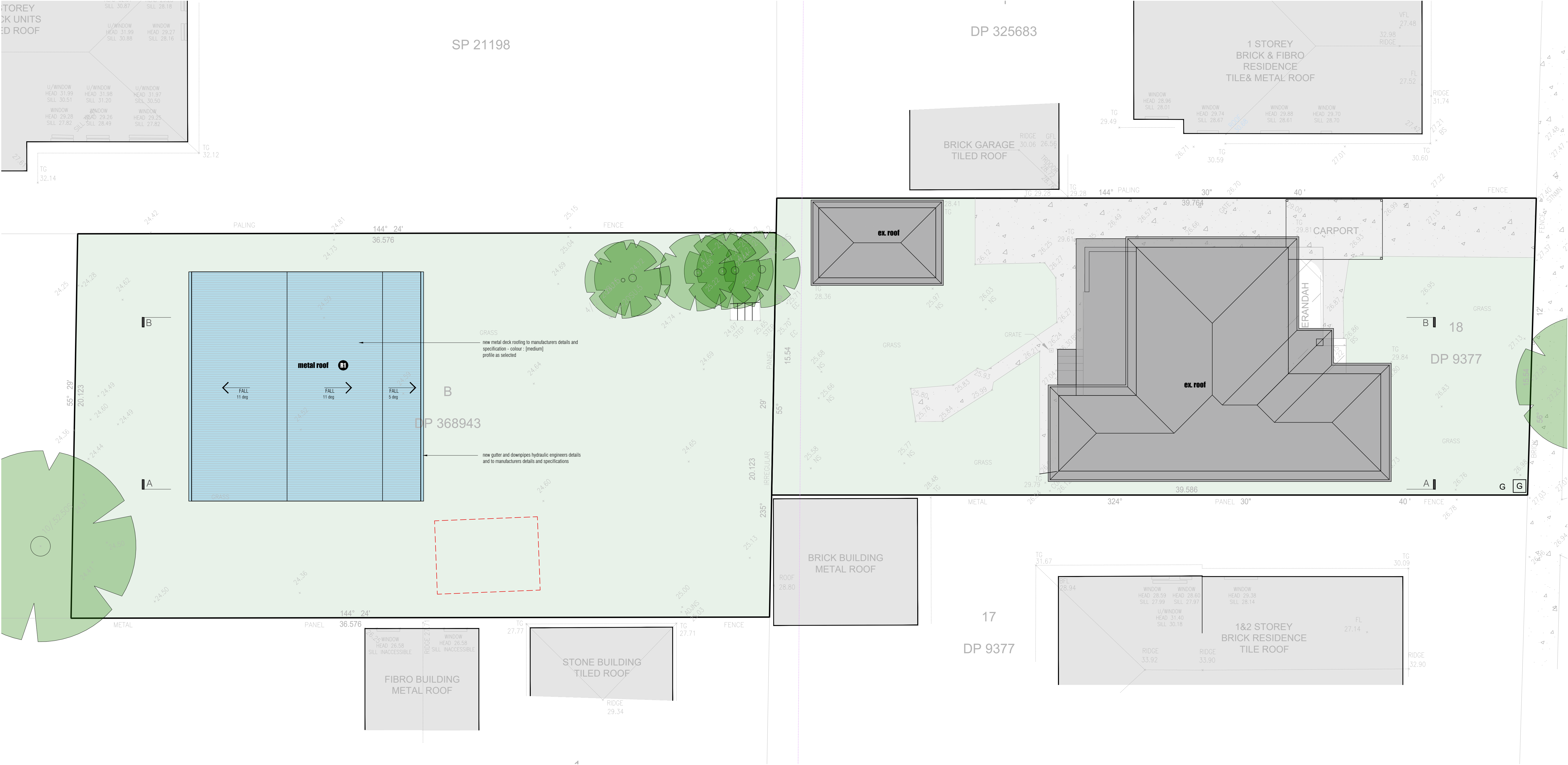
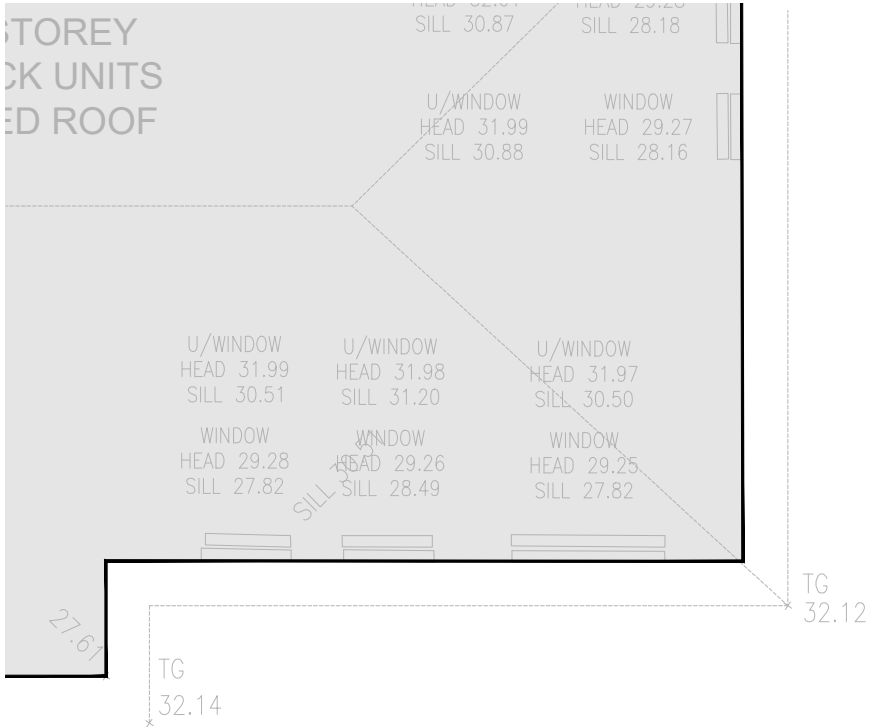
drawing is copyright, do not scale drawing, work to figured dimensions only, verify all dimensions on site, Report any omission, discrepancy or anything that might lead to a result other than the intent of the drawing. If in doubt, ask. All work to comply with the BCA and relevant Australian Standards.



job # : 2410
scale : 1:100 @ A1
date : Sept 2024

drawing title : proposed ground floor plan
25 Adelaide Street, Belmore

drawing number : DA 05
issue : C



proposed roof plan scale: 1:100



W1 EXTERIOR CLADDING FINISH AS SELECTED



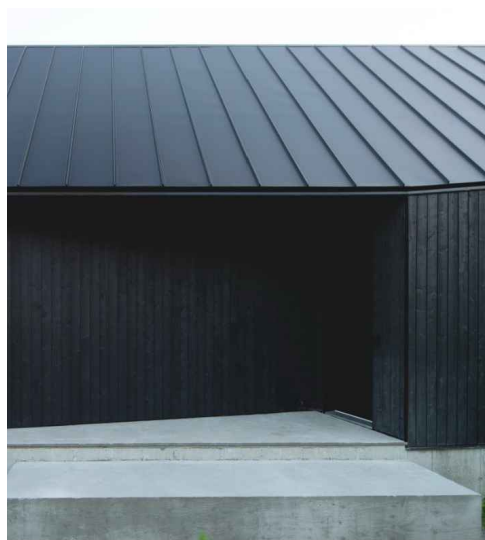
W2 EXPOSED CONCRETE EDGE FINISH AS SELECTED
W3 EXTERIOR CLADDING ALTERNATE FINISH AS SELECTED



F1 CONCRETE FLOOR COLOUR AS SELECTED



DW1 GLAZED WINDOWS / DOOR ALUMINIUM FRAME IN CHARCOAL BLACK
G1 CLEAR GLAZING TO AS



R1 METAL STANDING SEAM ROOFING OR SIMILAR MEDIUM COLOUR FINISH AS SELECTED

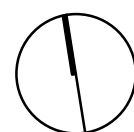
key

- existing structure
- walls / roof to be demolished
- proposed wall structure [plan]
- proposed concrete slab [plan]
- proposed concrete [section]
- proposed colorbond roof / rwh / gutters and dp's

amendments	date	description
a	08/09/2024	client issue - preliminary
b	27/11/2024	planner issue - preliminary
c	10/12/2024	Development Application



drawing is copyright, do not scale drawing, work to figured dimensions only, verify all dimensions on site, Report any omission, discrepancy or anything that might lead to a result other than the intent of the drawing. If in doubt, ask. All work to comply with the BCA and relevant Australian Standards.



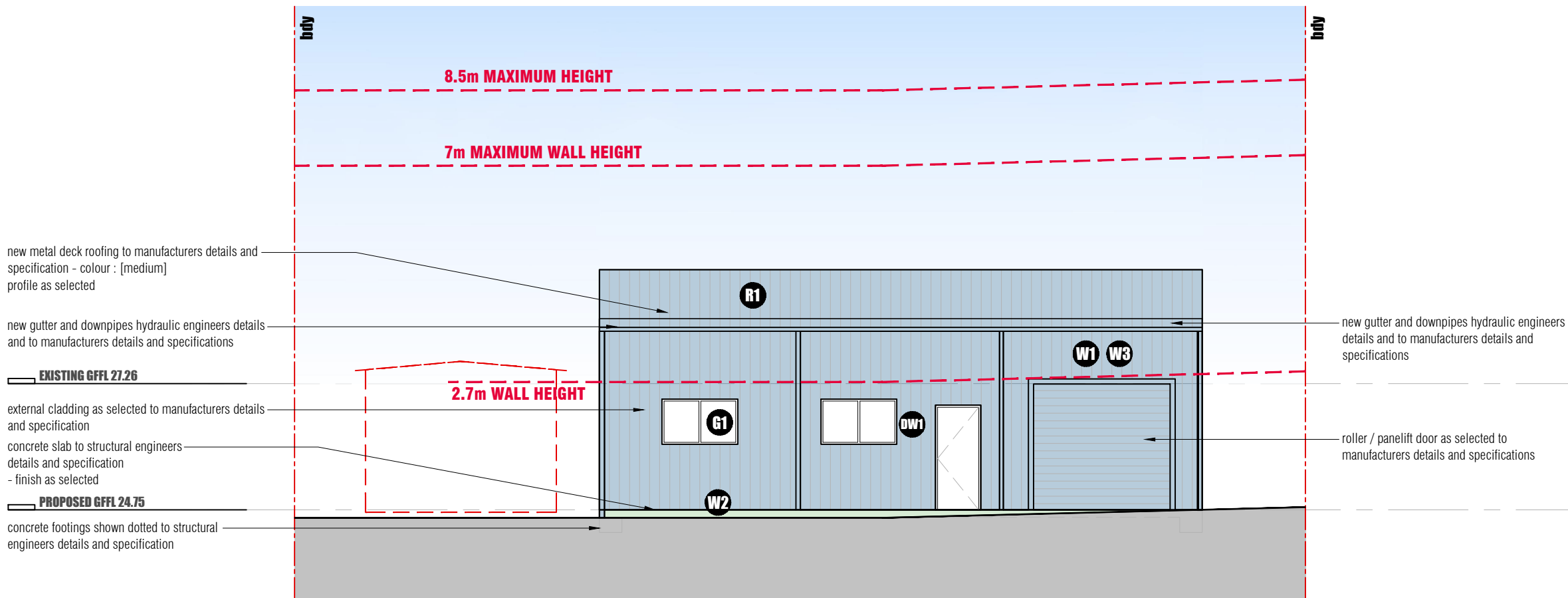
job # : 2410
scale : 1:100 @ A1
date : Sept 2024

drawing title : **proposed roof plan**
25 Adelaide Street, Belmore

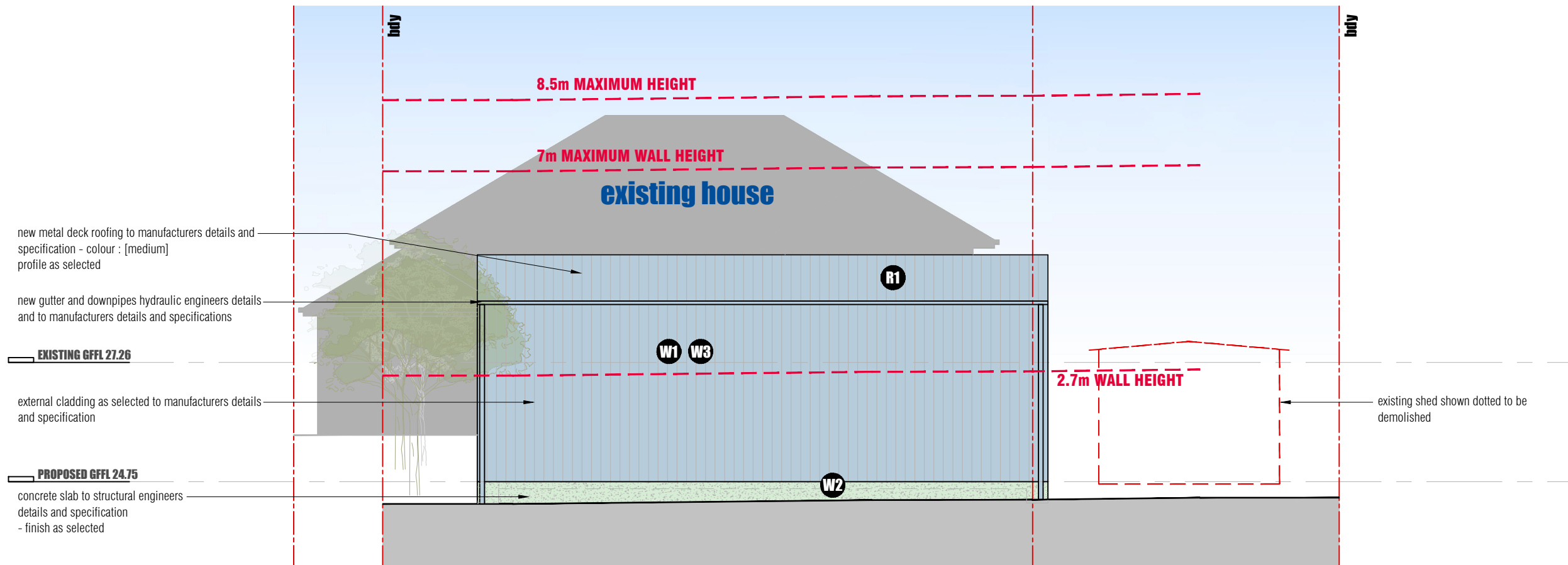
drawing number : issue :

DA 06

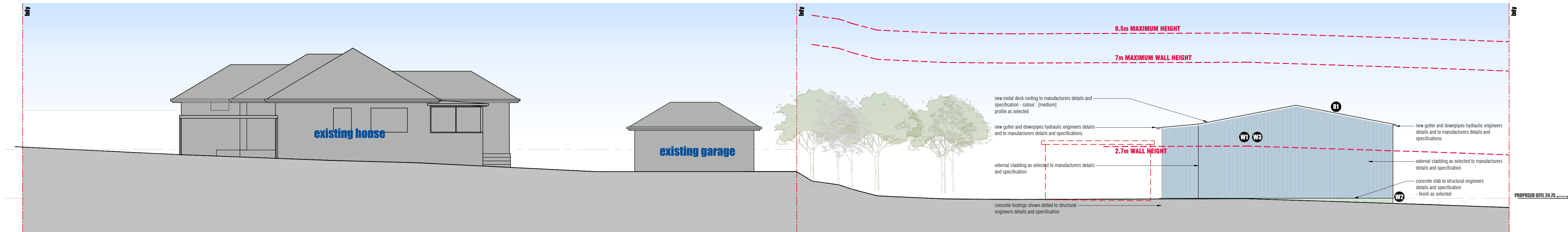
C



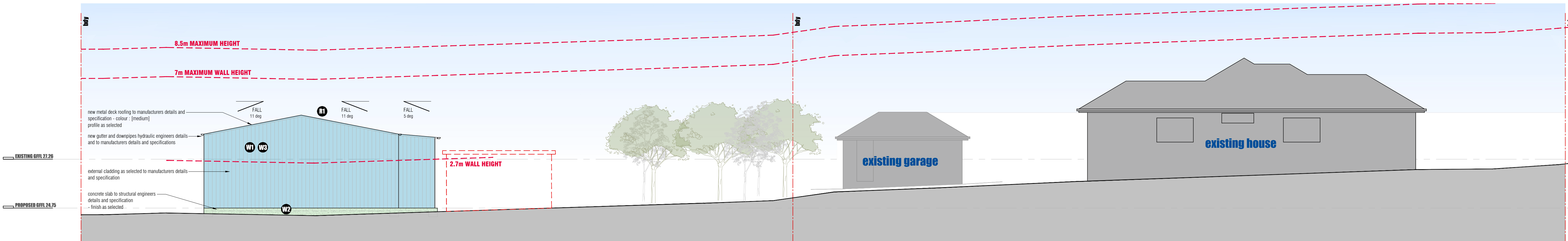
proposed south elevation - new shed scale: 1:100



proposed north elevation - new shed scale: 1:100



proposed east elevation - new shed scale: 1:100



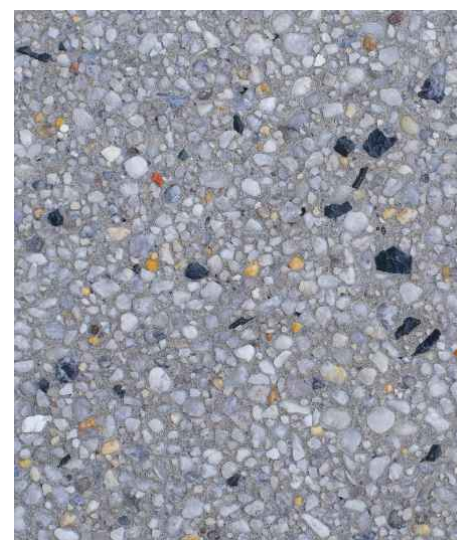
proposed west elevation - new shed scale: 1:100



W1 W1 EXTERIOR CLADDING FINISH AS SELECTED



W2 W2 EXPOSED CONCRETE EDGE FINISH AS SELECTED



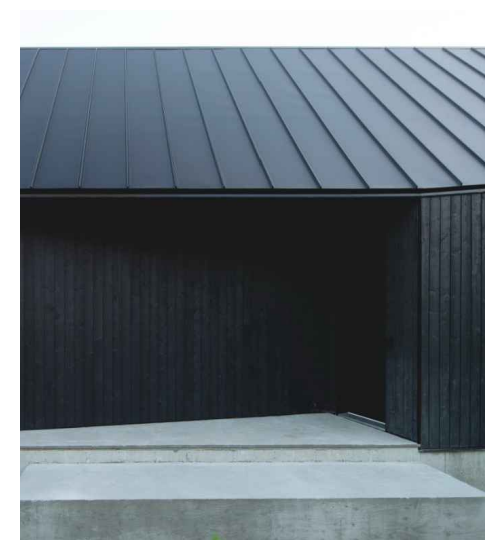
F1 F1 CONCRETE FLOOR COLOUR AS SELECTED



DW1 DW1 GLAZED WINDOWS / DOOR ALUMINIUM FRAME IN CHARCOAL BLACK



G1 G1 CLEAR GLAZING TO AS



R1 R1 METAL STANDING SEAM ROOFING OR SIMILAR MEDIUM COLOUR FINISH AS SELECTED

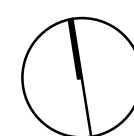
key

- existing structure
- walls / roof to be demolished
- proposed wall structure [plan]
- proposed concrete slab [plan]
- proposed concrete [section]
- proposed colorbond roof / rwh / gutters and dp's

amendments	date	description
a	08/09/2024	client issue - preliminary
b	27/11/2024	planner issue - preliminary
c	10/12/2024	Development Application

0 1 2 3 4 8m

drawing is copyright, do not scale drawing, work to figured dimensions only, verify all dimensions on site, Report any omission, discrepancy or anything that might lead to a result other than the intent of the drawing, If in doubt, ask. All work to comply with the BCA and relevant Australian Standards.



job # : 2410
scale : 1:100 @ A1
date : Sept 2024

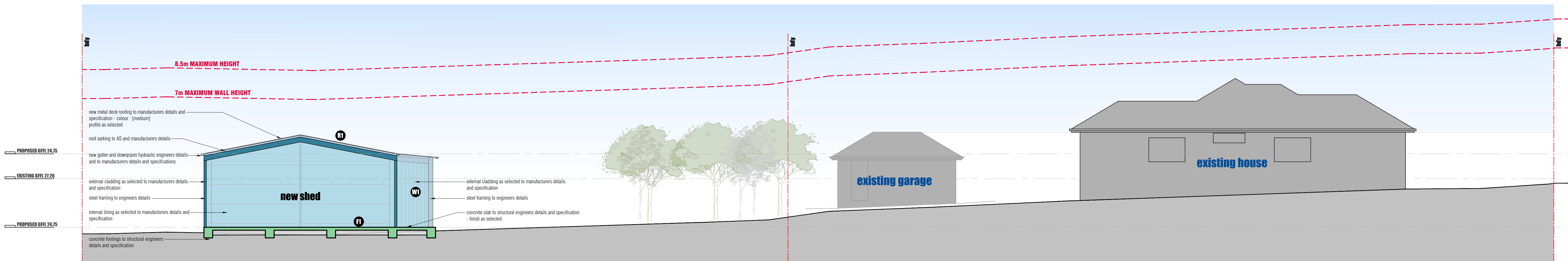
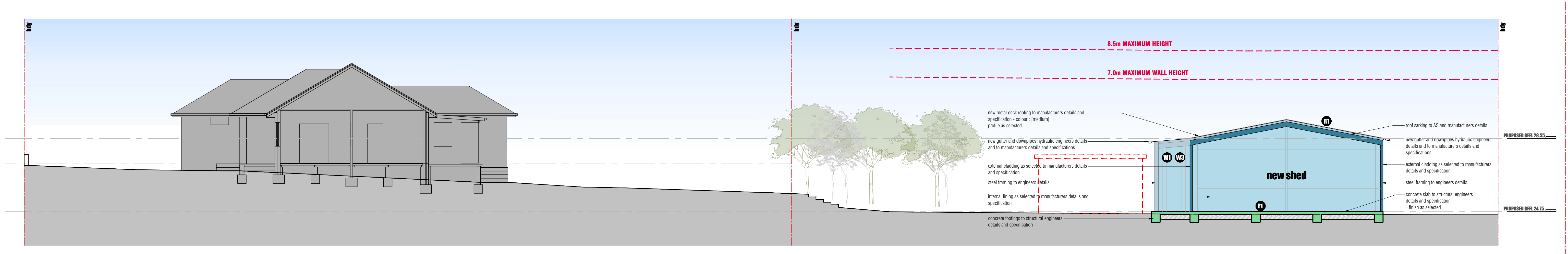
drawing title :: proposed elevations - new shed

25 Adelaide Street, Belmore

drawing number :: issue ::

DA 07

C



existing section A-A

scale: 1:100



W1
W1
EXTERIOR CLADDING
FINISH AS SELECTED



W2
W2
EXPOSED CONCRETE EDGE
FINISH AS SELECTED
W3
W3
EXTERIOR CLADDING ALTERNATE
FINISH AS SELECTED



F1
F1
CONCRETE FLOOR
COLOUR AS SELECTED



DW1
DW1
GLAZED WINDOWS / DOOR
ALUMINIUM FRAME IN
CHARCOAL BLACK
G1
G1
CLEAR GLAZING TO AS



R1
R1
METAL STANDING SEAM
ROOFING ON SIMILAR
MEDIUM COLOUR FINISH AS SELECTED

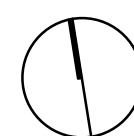
key

- existing structure
- walls / roof to be demolished
- proposed wall structure [plan]
- proposed concrete slab [plan]
- proposed concrete [section]
- proposed colorbond roof / rwh / gutters and dp's

amendments	date	description
a	08/09/2024	client issue - preliminary
b	27/11/2024	planner issue - preliminary
c	10/12/2024	Development Application



drawing is copyright, do not scale drawing, work to figured dimensions only, verify all dimensions on site, Report any omission, discrepancy or anything that might lead to a result other than the intent of the drawing. If in doubt, ask. All work to comply with the BCA and relevant Australian Standards.



job # : 2410
scale : 1:100 @ A1
date : Sept 2024

drawing title :: **proposed sections - new shed**
25 Adelaide Street, Belmore

drawing number :: issue ::

DA 08

C



proposed ground floor plan scale: 1:150



existing ground floor plan scale: 1:150

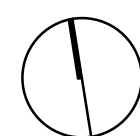
AREA CALCULATIONS	
Site area	
Lot 18 = 616.5m ²	
Lot B = 735.8m ²	
Total site area = 1352.3m ²	
Maximum GFA = 0.5 : 1	
therefore maximum allowable GFA = 1352.3 x 0.5 = 676.15m ²	
total existing floor area	138.4m ² [house 118.6sqm + shed 19.8sqm]
proposed floor area	
proposed floor area	118.6m ² [existing house] + 122m ² [proposed shed]
total proposed floor area	= 240.6sqm [complies by 435.55sqm]
Site Coverage	
Maximum Site Coverage of all structures on site = 40% [1352.3 x 40% = 540.92m ²]	
existing site coverage	
House	134m ²
Garage	21.9m ²
Shed	21m ²
Total	176.9m ² [complies by 364m ²]
proposed site coverage	
House	134m ²
Garage	21.9m ²
Shed	128m ²
Total	283.9m ²
existing site coverage area (dwelling + garage + shed)	176.9m ² [complies by 364m ²]
proposed site coverage area (dwelling + garage + shed)	283.9m ² [complies by 257.02m ²]
Deep soil area	
Minimum Deep Soil Area (25% of site area (1352.3m ² x 25%)) = 338.1m ²	
existing deep soil area	1022.6m ²
proposed deep soil area	869.4m ²
total proposed deep soil area	869.4m ² [complies over by 531.3m ²]

key	
	existing floor area
	existing deep soil / landscape area
	proposed floor area
	proposed deep soil / landscape area

amendments	date	description
a	24/09/2024	planner issue - preliminary
b	27/11/2024	planner issue - preliminary
c	10/12/2024	Development Application



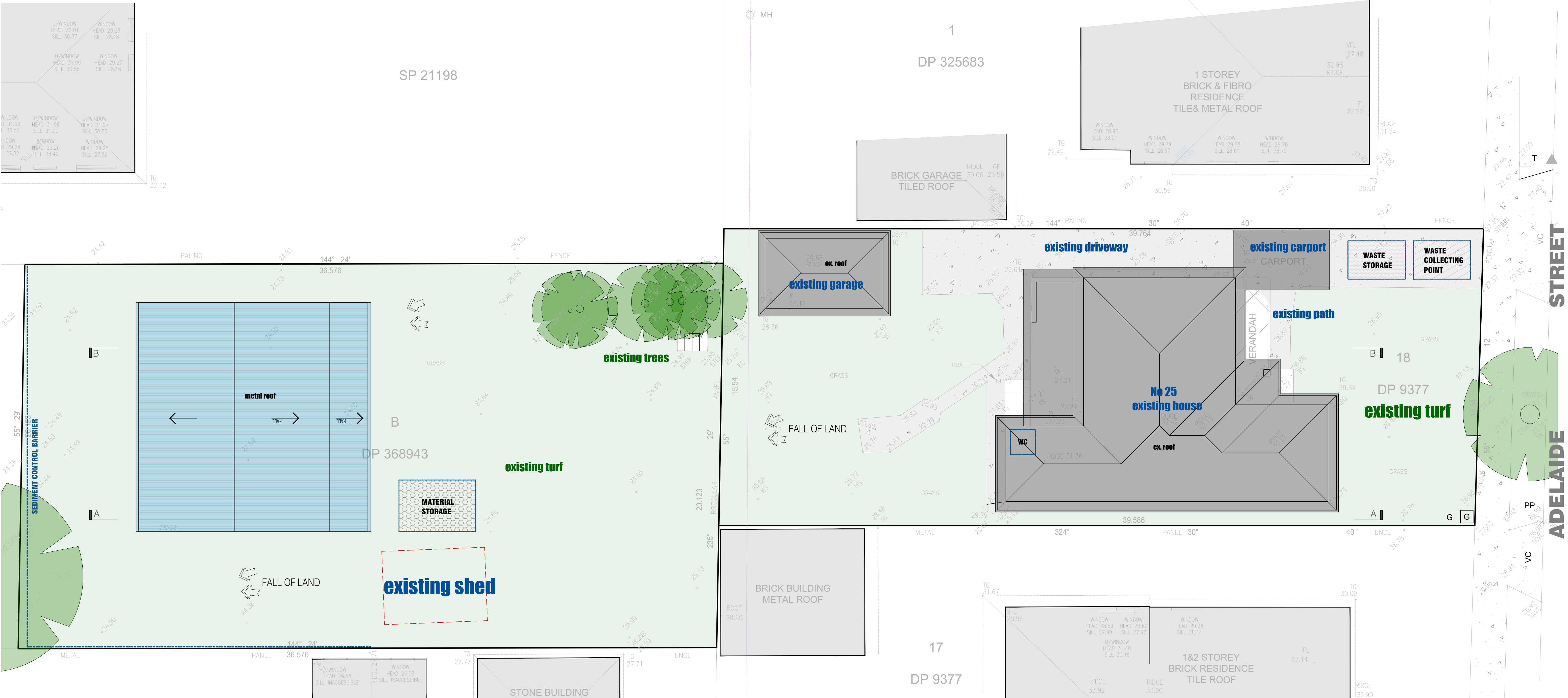
drawing is copyright, do not scale drawing, work to figured dimensions only, verify all dimensions on site, Report any omission, discrepancy or anything that might lead to a result other than the intent of the drawing, If in doubt, ask. All work to comply with the BCA and relevant Australian Standards.



job # : 2410
scale : 1:100 @ A1
date : Sept 2024

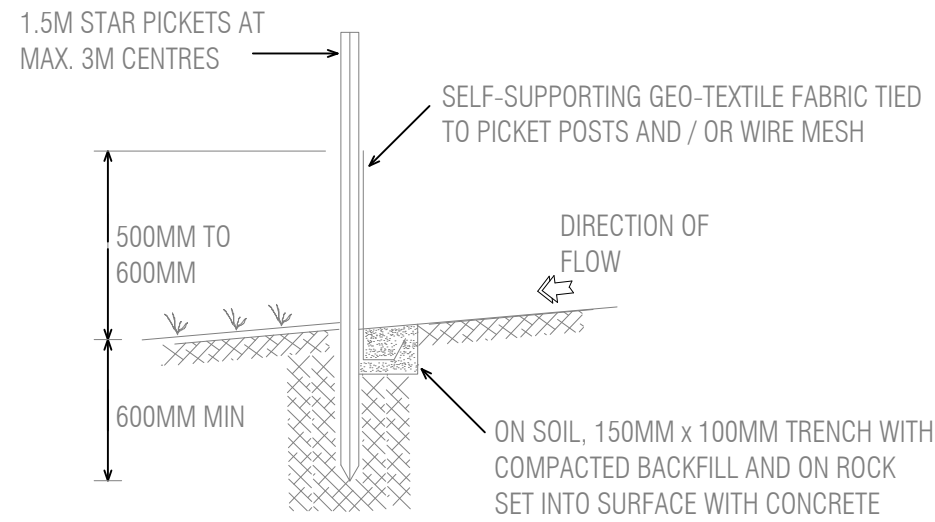
drawing title : **GFA + Landscape area plan**
25 Adelaide Street, Belmore

drawing number : :	issue : :
DA 09	C



construction management plan

scale: 1:100



SEDIMENT CONTROL FENCE

EROSION AND SEDIMENT CONTROL PLAN

- BEFORE EARTHWORKS CAN COMMENCE, THE EROSION AND SEDIMENT CONTROL MEASURES WILL NEED TO BE INSPECTED AND MAINTAINED REGULARLY BY THE CONTRACTOR, ESPECIALLY AFTER STORM EVENTS.
- ALL WORK TO BE CARRIED OUT TO PREVENT EROSION, CONTAMINATION AND SEDIMENTATION OF THE STORAGE SITE, SURROUNDING AREAS AND DRAINAGE SYSTEMS.
- MINIMISE DISTURBED AREAS COVERED WITH NATURAL VEGETATION ONLY THOSE AREAS DIRECTLY REQUIRED FOR CONSTRUCTION ARE TO BE DISTURBED.
- INSTALL EROSION / SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION OPERATIONS.
- DIVERT CLEAN WATER FROM UNDISTURBED AREAS AROUND THE WORKING AREAS.
- CONTINUALLY MAINTAIN EROSION AND SEDIMENT CONTROL STRUCTURES TO ENSURE THEIR EFFICIENCY.
- ADOPT TEMPORARY MEASURES AS MAY BE NECESSARY FOR EROSION AND SEDIMENT CONTROL, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - DRAINS: TEMPORARY DRAINS AND CATCH DRAINS
 - SPREADER BANKS OR OTHER STRUCTURES: TO DISPERSE CONCENTRATED RUN-OFF.
 - SILT TRAP: CONSTRUCTION AND MAINTENANCE OF SILT TRAPS TO PREVENT DISCHARGE OF SCOURED MATERIAL TO DOWNSTREAM AREAS.
 - TEMPORARY FENCING: MAINTENANCE AND REMOVAL AFTER RAIN, CLEAN AND REPAIR IF REQUIRED, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
 - REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES WHEN THEY ARE NO LONGER REQUIRED.

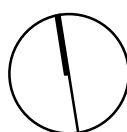
SITE MANAGEMENT PLAN

- PORTABLE WATER CLOSET TO BE ADJACENT MATERIAL STORAGE AWAY FROM THE FRONT BOUNDARY AND SCREENED FROM NEIGHBOUR BY EXISTING DENSE PLANTING.
- CONSTRUCTION WASTE / RUBBLE IS TO BE USED AS LANDFILL AND ALL RECYCLED MATERIAL, INCLUDING PAINTS AND SOLVENTS, TO BE SENT TO THE APPROPRIATE WASTE COLLECTION CENTRES. A WASH-DOWN AREA IN TO THE FRONT OF THE PROPERTY WILL BE DESIGNATED FOR THE CLEANING OF ALL PAINTS.
- WASTE MATERIAL TO BE IN SEPERATE COVERED BINS (I.e TIMBER, RUBBLE, RUBBISH) AND STORED TO ONE SIDE OF SITE READY FOR COLLECTION.
- HAND TRIGGERED HOSES TO BE USED ON SITE.
- LOCATION OF BUILDING MATERIALS WILL BE TEMPORARILY IN THE AREA BETWEEN THE SITE SHEDS AND BUILDING WORKS.
- FOOTPATH TO BE KEPT CLEAN AND FREE FROM ALL DEBRIS AND BUILDING MATERIALS.
- DUST WILL NOT BE GENERATED ON SITE TO ANY GREAT DEGREE BUT ALL EQUIPMENT TO HAVE DUST SUPPRESSERS, ALL BUILDING MATERIAL TO BE COVERED AND NO BURNING OFF TO BE ALLOWED.
- OPEN WIRE METAL FENCING AS REQUIRED WILL BE ERECTED TO THE FRONT BOUNDARY (SIDE IF REQUIRED) WITH DRIVEWAY GATE DOUBLING AS A GENERAL ACCESS GATE.
- CONSTRUCTION NOISE TO BE MINIMISED WITH BUILDING WORKS OCCURRING STRICTLY TO HOURS PERMITTED BY COUNCIL, NOISY TRUCKS, CONCRETE POURS AND LARGE DELIVERIES TO BE SCHEDULED TO LATE MORNING AND AFTERNOON HOURS.

amendments	date	description
a	27/11/2024	planner issue - preliminary
b	10/12/2024	Development Application



drawing is copyright, do not scale drawing, work to figured dimensions only, verify all dimensions on site, Report any omission, discrepancy or anything that might lead to a result other than the intent of the drawing, If in doubt, ask. All work to comply with the BCA and relevant Australian Standards.



job #
scale
date

:: 2410
:: 1:400 @ A1
:: Sept 2024

drawing title ::

site construction management plan

25 Adelaide Street, Belmore

drawing number ::

issue ::

DA 10

B